

# TAY TOWNSHIP

450 Park Street  
PO Box 100  
Victoria Harbour, Ontario  
L0K 2A0



## COMMITTEE OF ADJUSTMENT NOTICE OF MEETING FILE NO. 2024-A-11

This is a matter of an application made pursuant to Section 45 of the Planning Act to the Committee of Adjustment submitted by The Pheonix Design Group on behalf of Kenneth Kwong, owner of **1 Tanners Road**, legally described as Concession 9, East Part Lot 10, Plan 1725, Township of Tay.

The applicant is requesting relief from three (3) provisions of the Township of Tay Zoning By-law 2000-57 as amended, to permit the construction of a single detached dwelling with an exterior side yard setback of 2.0 metres, whereas 4.5 metres is required, a front yard setback of 6.3 metres, whereas 7.5 metres is required, and a 0.0 metre setback to the 178.0 G.S.C elevation whereas 15.0 metres is required.

The below chart summarizes the required and proposed reliefs:

<b>Section 13.3.3</b>	<b>Required</b>	<b>Proposed</b>
(i) Minimum Required Yards Front	7.5 metres (24.60 feet)	6.3 metres (20.66 feet)
(iv) Minimum Required Yards Exterior Side	4.5 metres (14.76 feet)	2.0 metres (6.56 feet)
<b>Section 4.31</b>	<b>Required</b>	<b>Proposed</b>
No building or structure shall be located within 15.0 metres of the 178.0 metres G.S.C. elevation on a waterfront lot.	15.0 metres (49.2 feet)	0 metres (0 feet)

A key map, site plan drawing, existing survey, and elevation plans is included in this notice.

The Committee of Adjustment will consider this application on **Wednesday, November 20<sup>th</sup>, 2024, at 6:00 p.m.**

**Take Notice** that any person may make a submission in support of or in opposition to the proposed Minor Variance application. Written submissions regarding the proposal can be sent to the Committee of Adjustment Secretary-Treasurer at [planning@tay.ca](mailto:planning@tay.ca), or by mail at Township of Tay 450 Park Street, PO Box 100 Victoria Harbour, ON L0K 2A0, facsimile 705-534-4493. The Secretary-Treasurer will speak to the comments received as part of the presentation to Committee. **The Committee of Adjustment will be meeting remotely via Zoom video and telephone conference.**

**To view the meeting online visit <https://us02web.zoom.us/j/84882595064> or [www.tay.ca/Meetings](http://www.tay.ca/Meetings) for info on how to connect. To listen by telephone call 705-999-0385 (a local telephone number) and enter meeting ID number: 848 8259 5064.**

If you are unable to make written submissions and therefore wish to make an oral statement during the meeting, you can do so by using the "raise hand" function on the Zoom Video call or on a dial pad of a phone by dialing \*9 while connected to the meeting by telephone.

If you, or your agent, do not attend the hearing (by remote video or telephone conference), it may proceed in your absence and except as otherwise prescribed by regulation; you will not be entitled to any further notice in the proceedings.

If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer.

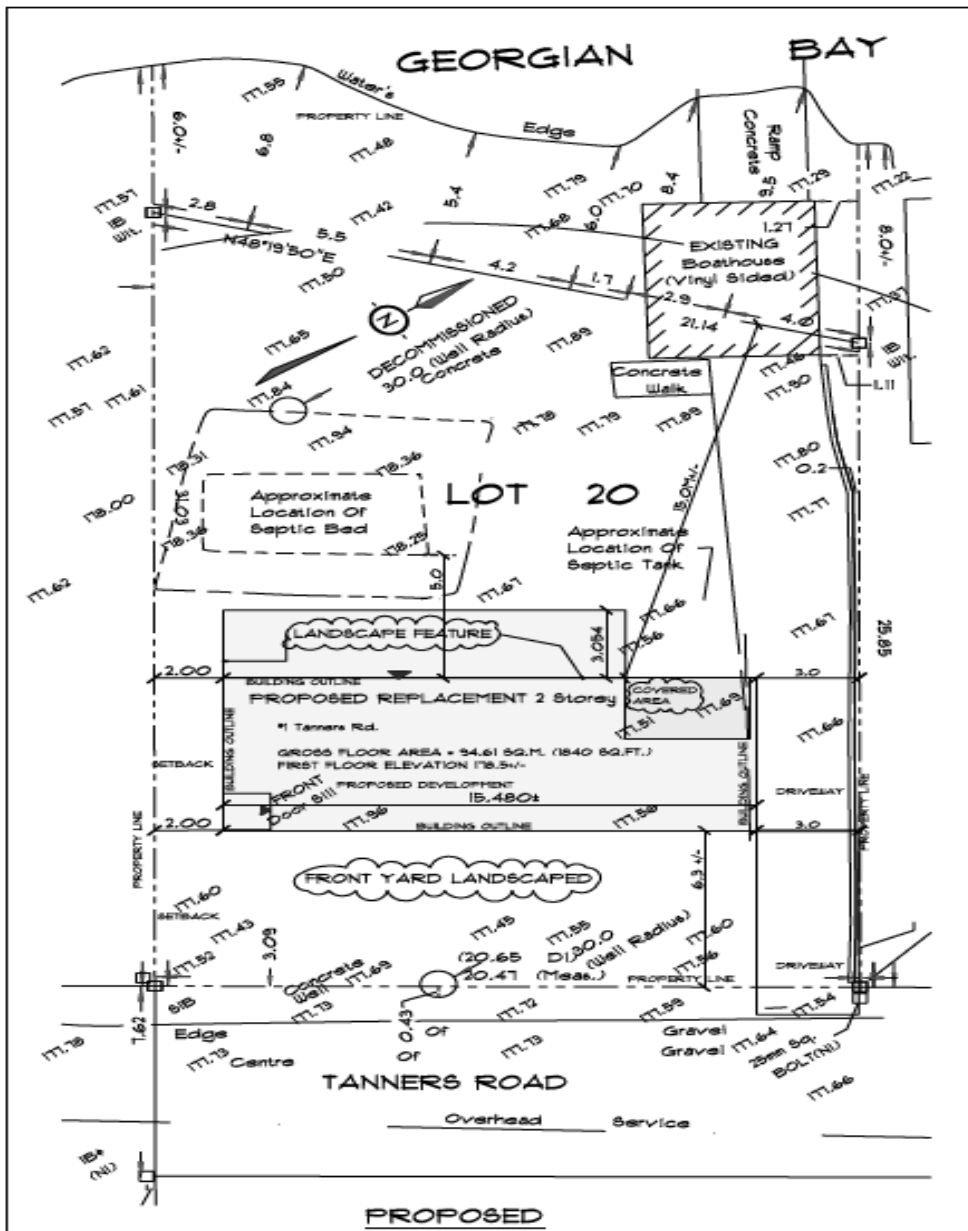
Dated: November 5<sup>th</sup>, 2024

Todd Weatherell, RPP, CPT  
Secretary Treasurer

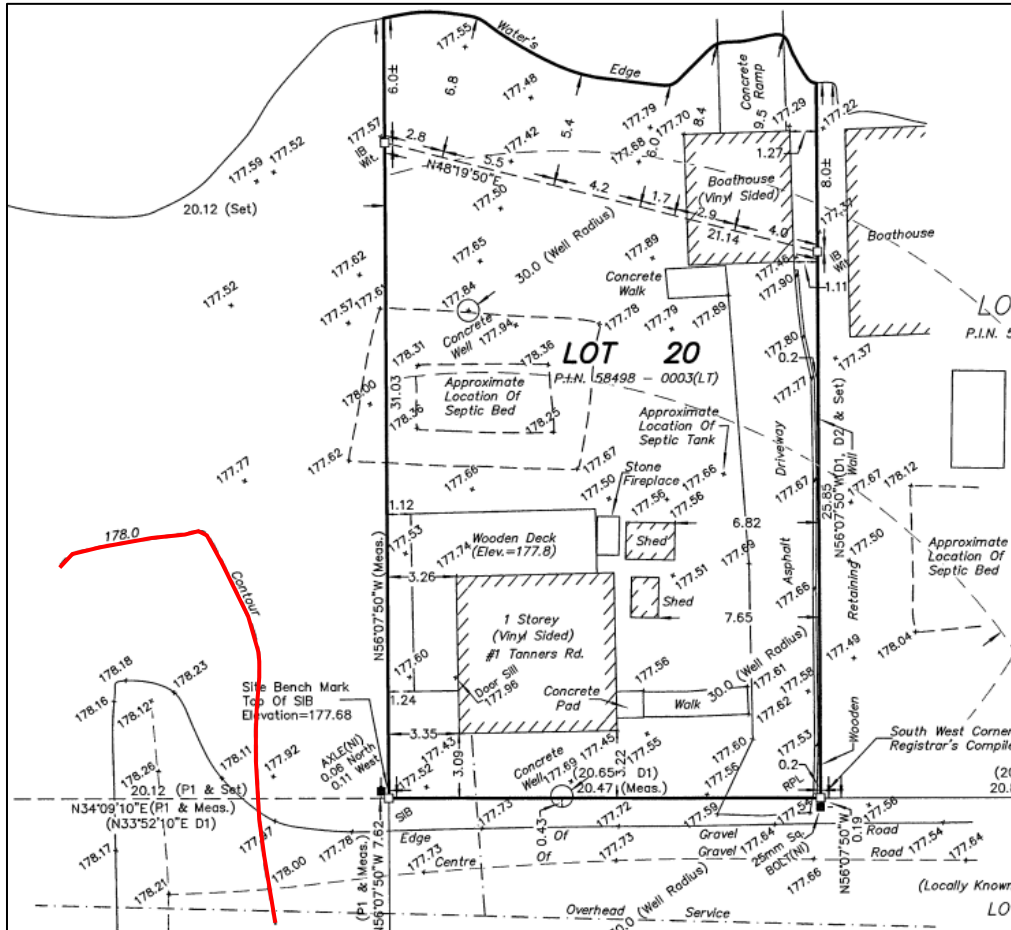
### KEY MAP



### PROPOSED SITE PLAN

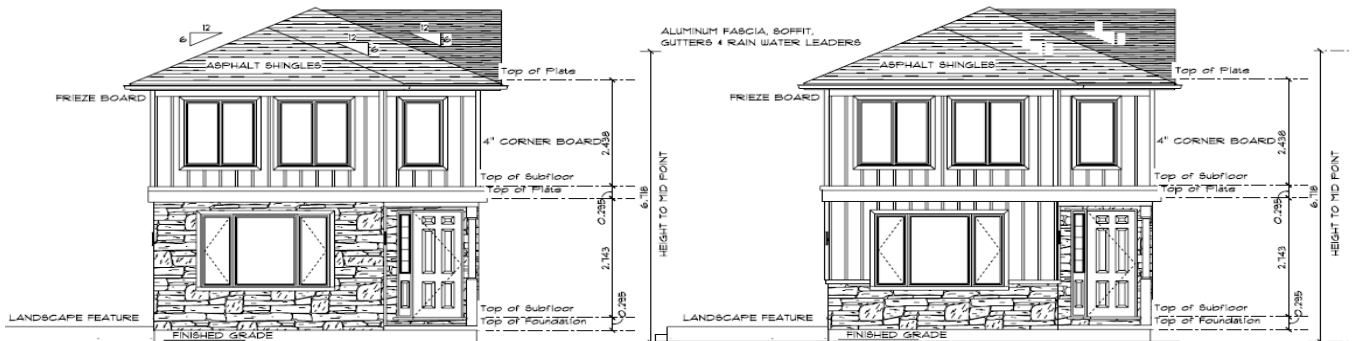


## EXISTING SURVEY



— 178.0 G.S.C. Elevation

## PROPOSED ELEVATIONS

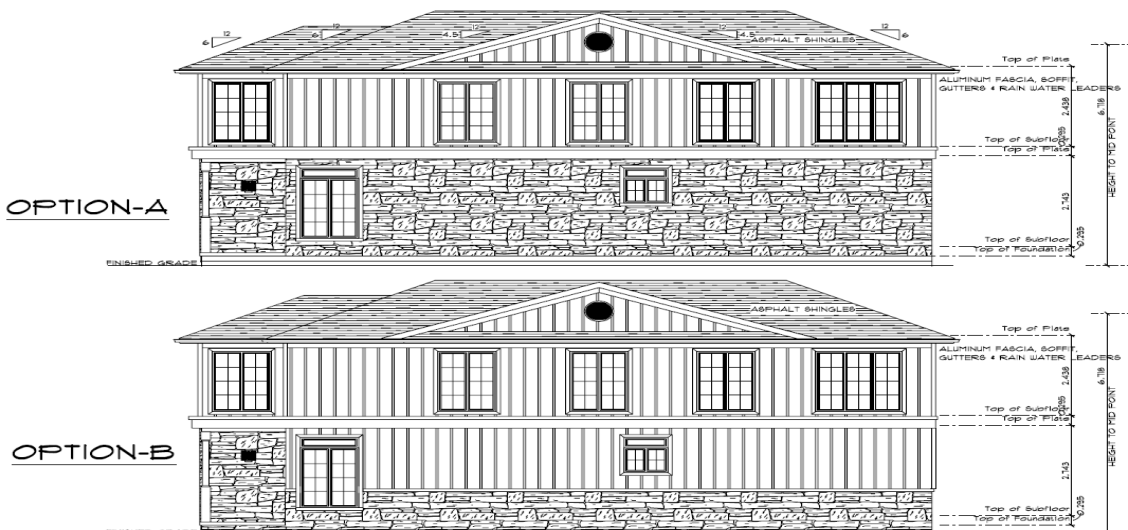


OPTION-A

OPTION-B

### SOUTH ELEVATION

SCALE: 1:15



OPTION-A

OPTION-B

### EAST ELEVATION

SCALE: 1:15